

MONSON-SULTANA ELEMENTARY
RELOCATABLE CLASSROOM BUILDING
MONSON-SULTANA JOINT UNION ELEMENTARY SCHOOL DISTRICT
10643 AVENUE 416, SULTANA, CALIFORNIA 93666

CODE TABULATION

ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION:

PARTIAL LIST OF APPLICABLE CODES AS OF JANUARY 1, 2017

2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
(2015 INTERNATIONAL BUILDING CODE AND 2016 CA. AMENDMENTS)
2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
(2014 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
(2015 UNIFORM MECHANICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
(2015 UNIFORM PLUMBING CODE AND 2016 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
TITLE 24 C.C.R. PART 7 - 2010 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
2016 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, TITLE 24 C.C.R.
2016 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
(2015 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
(2015 INTERNATIONAL EXISTING BUILDING CODE AND 2016 CA. AMENDMENTS)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

PARTIAL LIST OF APPLICABLE STANDARDS:

2016 NFPA 13, INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED)
2013 NFPA 14, SANDPIPE SYSTEMS (CA AMENDED)
2013 NFPA 17A, WET CHEMICAL EXTINGUISHING SYSTEMS
2016 NFPA 20, INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION
2016 NFPA 24, INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES.
2016 NFPA 80, FIRE DOOR & OTHER OPENING PROTECTIVES
2015 NFPA 2001, CLEAN AGENT FIRE EXTINGUISHING SYSTEMS
2016 NFPA 72, NATIONAL FIRE ALARM CODE (CA AMENDED), SEE UL STD. 1971 FOR "VISUAL DEVICES"
2012 ICC 300, BLEACHERS, FOLDING AND TELESOPING SEATING, AND GRANDSTANDS (ICC/ANSI 300-2012)

SCOPE OF WORK

PREPARATION OF SITE AREAS TO RECEIVE:

(1) 60' x 32' RELOCATABLE CLASSROOM
(2) 30' x 32' RELOCATABLE CLASSROOMS

AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS, SITE PREPARATION SHALL INCLUDE BUT NOT BE LIMITED TO THE REMOVAL OF LANDSCAPE AND SITE APPURTENANCES. SITE WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION OF CONCRETE WALKS, MODIFIED LANDSCAPING, IRRIGATION AND NEW MODULAR BUILDING AND FIRE SPRINKLERS. CONTRACTOR SHALL CONNECT ALL ELECTRICAL, FIRE ALARM, DATA CONNECTIONS, IRRIGATION, WATER, AND SEWER SYSTEMS AS REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEMS.

UNIQUE IDENTIFIER INFORMATION FOR DSA 153 - INSPECTION CARD BUILDING IDENTIFIER

CONSTRUCTION OF:	ADDITION TO:	ALTERATION TO:	RELOCATION OF:	RECONSTRUCTION OF:	REHABILITATION OF:	INCREMENT #	BUILDING TYPE	UNIQUE IDENTIFIER FOR INSPECTION CARD
☒	☐	☐	☐	☐	☐	N/A	60' x 32' RELO. BUILDING	BUILDING 'A'
☒	☐	☐	☐	☐	☐	N/A	30' x 32' RELO. BUILDING	BUILDING 'B'
☒	☐	☐	☐	☐	☐	N/A	30' x 32' RELO. BUILDING	BUILDING 'C'

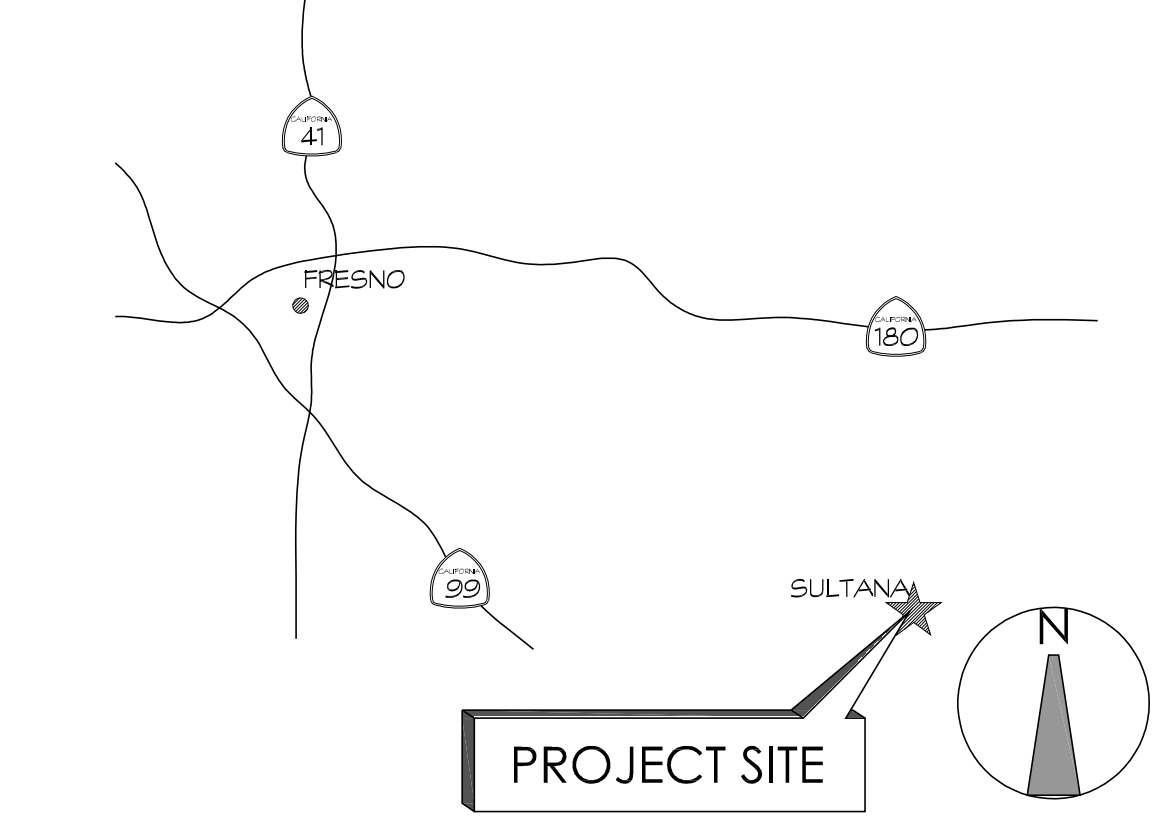
BUILDING DATA/CODE ANALYSIS

PROJECT DESCRIPTION: (1) 60' x 32' RELOCATABLE &
(2) 30' x 32' RELOCATABLE CLASSROOMS AND ASSOCIATED SITE IMPROVEMENTS

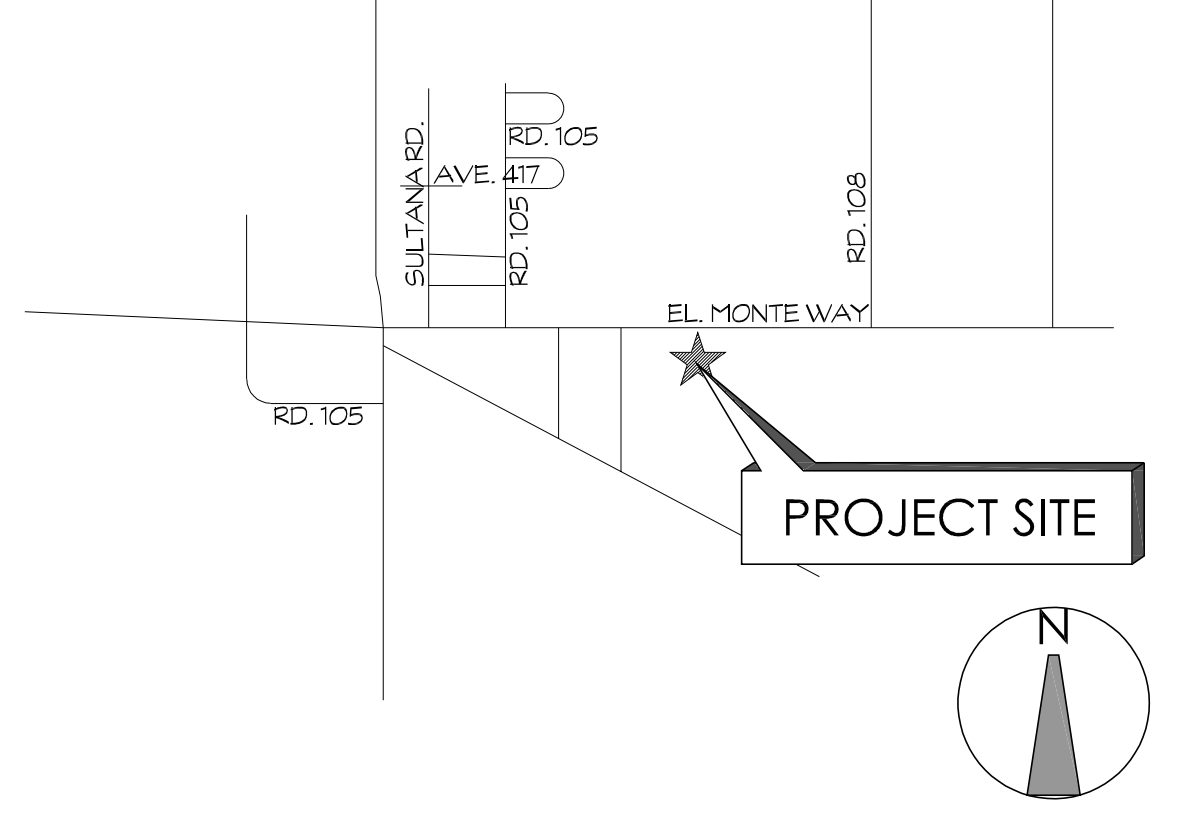
PROJECT ADDRESS: 10643 AVENUE 416, SULTANA, CA. 93666

BUILDING 'A' DATA:
OCCUPANCY GROUP: 'E'
CONSTRUCTION TYPE: V8
MAX ALLOWABLE AREA: 9,500 SQ. FT.
BUILDING AREA: 9,808 SQ. FT.

SITE AREA MAP



VICINITY MAP



SHEET INDEX

ARCHITECTURAL

T1 COVER SHEET
T2 GENERAL NOTES
A1 OVERALL SITE PLAN
A2 DEMOLITION AND NEW SITE PLANS
A3 DEMOLITION AND NEW ACCESSIBLE RESTROOMS
D1 DETAILS
D2 DETAILS
D3 DETAILS

CIVIL

C1 TOPOGRAPHIC SURVEY
C2 GRADING AND DRAINAGE PLAN
C3 SEWER AND WATER PLAN
C4 DETAILS
C5 IRRIGATION PLAN
C6 LANDSCAPE PLAN
C7 IRRIGATION AND LANDSCAPE DETAILS

ELECTRICAL

E-1 ELECTRICAL SITE PLAN
E-2 POWER PLAN
E-3 FIRE ALARM SITE PLAN
E-31 FIRE ALARM PLAN
E-32 FIRE ALARM DETAILS
E-4 SIGNAL/COMMUNICATION SITE PLAN
E-41 SIGNAL/COMMUNICATION FLOOR PLAN

BUILDING 'A' MODULAR BUILDING

(BASED ON DSA PG # 02-113889)

T-1.00-R TITLE PAGE
T-1.01 (02-113889) TEST & INSPECTIONS GUIDELINES
ARCHITECTURAL
A-1.01-R FLOOR PLAN
A-1.01 (02-113889) FLOOR PLANS
A-1.10 (02-113889) CEILING DETAILS
A-1.11-R REFLECTED CEILING PLAN
A-1.11 (02-113889) REFLECTED CEILING PLANS
A-1.21 (02-113889) DOOR & WINDOW SCHED., GENERAL NOTES & DETAILS
A-2.00-R INTERIOR ELEVATIONS
A-2.00 (02-113889) INTERIOR ELEVATIONS
A-2.20 (02-113889) ACCESSIBILITY DETAILS
A-3.04-R EXTERIOR ELEVATIONS
A-3.04 (02-113889) EXTERIOR ELEVATIONS
A-4.00-R ROOF PLAN
A-4.00 (02-113889) ROOF PLAN
A-5.00 (02-113889) SECTIONS
A-6.00 (02-113889) DETAILS
A-6.01 (02-113889) DETAILS
A-6.02-R DETAILS
STRUCTURAL
S1.1 (02-113889) GENERAL NOTES
S1.2 (02-113889) GENERAL NOTES
S1.3 (02-113889) GENERAL NOTES
S1.4 (02-113889) TYPICAL DETAILS
S1.5 (02-113889) TYPICAL DETAILS
S1.6 (02-113889) TYPICAL DETAILS
S2.1-R EMBEDMENT PLAN
S2.1 (02-113889) EMBEDMENT PLAN
S3.1-R FOUNDATION PLAN
S3.1 (02-113889) FOUNDATION PLAN
S4.1 (02-113889) ROOF FRAMING PLAN - SINGLE SLOPE OVERHANG
S5.1 (02-113889) FRAME ELEVATIONS & DETAILS - SINGLE SLOPE
S5.2 (02-113889) FRAME ELEVATIONS & DETAILS - SINGLE SLOPE
S5.9 (02-113889) FRAME DETAILS
S6.1 (02-113889) FOUNDATION DETAILS
S6.2 (02-113889) FOUNDATION DETAILS
S6.3-R (02-113889) FOUNDATION DETAILS
S7.1 (02-113889) FRAMING DETAILS
S7.2 (02-113889) FRAMING DETAILS - ROOF OVERHANG
MECHANICAL
M-0.01 (02-113889) MECHANICAL NOTES & SYMBOLS
M-1.03-R MECHANICAL FLOOR PLAN
M-1.01 (02-113889) MECHANICAL PLANS
M-5.01 (02-113889) MECHANICAL DETAILS
M-5.02-R MECHANICAL DETAILS
M-5.02 (02-113889) MECHANICAL SCHEDULE & DETAILS
ELECTRICAL
E-0.01 (02-113889) ELECTRICAL NOTES & SYMBOLS
E-1.01 (02-113889) ELECTRICAL PLANS
E-1.02 (02-113889) ELECTRICAL PLANS
E-1.05-R ELECTRICAL POWER PLAN
E-1.08-R ELECTRICAL LIGHTING PLAN
E-2.01 (02-113889) ELECTRICAL PLANS
E-5.03 (02-113889) ELECTRICAL LIGHTING SCHEDULES & DTLS
E-5.04-R ELECTRICAL DETAILS
PLUMBING
P-0.01 (02-113889) PLUMBING NOTES & SYMBOLS
P-1.00-R PLUMBING PLAN - SEW
P-1.01 (02-113889) PLUMBING PLANS
P-2.00-R PLUMBING PLAN - DWV & DRW
P-5.01-R PLUMBING DETAILS
P-5.01 (02-113889) PLUMBING SCHEDULES & DETAILS
FIRE SPRINKLERS
FP1-1 BUILDING FIRE SPRINKLER PLAN
FP1-2 FIRE SPRINKLER DETAILS
FP-3 REFERENCE SITE PLAN
FP-1M (02-113889) FIRE SPRINKLER PLANS
FP-4M (02-113889) FIRE SPRINKLER PLANS
TITLE 24
EC-1.01-R ENERGY CALCS
EC-1.02-R ENERGY CALCS

PROJECT DIRECTORY

OWNER/ REPRESENTATIVE

MONSON-SULTANA JOINT UNION SCHOOL DISTRICT
10643 AVENUE 416
SULTANA, CALIFORNIA 93666
ph. #: 559.591.1634
cmeyer@msaschool.org
contact: CHRIS MEYER

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CIVIL ENGINEER

ALAN MOK ENGINEERING
7415 N. PALM AVENUE, #101
FRESNO, CALIFORNIA 93711
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fax. #: 559.432.6897
email: alan@alanmokengineering.com
contact: ALAN MOK

STATEMENT OF GENERAL CONFORMANCE

FOR ARCHITECTS/ENGINEERS WHO UTILIZE PLANS, INCLUDING BUT NOT LIMITED TO, SHOP DRAWINGS PREPARED BY OTHER LICENSED DESIGN PROFESSIONALS AND/OR CONSULTANTS

(APPLICATION NO. _____ FILE NO. 54-62)

☒ THE DRAWINGS OR SHEETS LISTED ON THE COVER OR INDEX SHEET
☒ THIS DRAWING, PAGE OF SPECIFICATIONS/CALCULATIONS

HAVE/HAS BEEN PREPARED BY OTHER DESIGN PROFESSIONALS OR CONSULTANTS WHO ARE LICENSED AND/OR AUTHORIZED TO PREPARE SUCH DRAWINGS IN THIS STATE. IT HAS BEEN EXAMINED BY ME FOR:

- DESIGN INTENT, AND APPEARS TO MEET THE APPROPRIATE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, AND THE PROJECT SPECIFICATIONS PREPARE BY ME AND
- COORDINATION WITH MY PLANS AND SPECIFICATIONS, AND IS ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT.

THE STATEMENT OF GENERAL CONFORMANCE "SHALL NOT BE CONSTRUED AS RELIEVING ME OF MY RIGHTS, DUTIES, AND RESPONSIBILITIES UNDER SECTION 17302 AND 81138 OF THE EDUCATION CODE, AND SECTIONS 4-336, 4-341 AND 4-344 OF TITLE 24, PART 1 (TITLE 24 PART 1, SECTION 4-317 (B)).

I FIND THAT: ☒ ALL DRAWINGS OR SHEETS LISTED ON THE COVER OR INDEX SHEET
☐ THIS DRAWING OR PAGE

☒ IS/ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN, AND
☒ HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS

Bryan Sassano 4.12.2022
SIGNATURE DATE

ARCHITECTS OR ENGINEER DESIGNATED TO BE IN GENERAL RESPONSIBLE CHARGE.

BRYAN SASSANO
PRINT NAME

C 28922 12.31.2023
LICENSE NUMBER EXPIRATION DATE

SIMPRBK

7780 NORTH PALM AVENUE - FRESNO, CALIFORNIA 93711
1559.448.8400 - F558.448.8467 - WWW.SIM-PBK.COM

MS
Monson-Sultana School

FILE: 54-62
PTN: 72009-05
PROJECT NAME

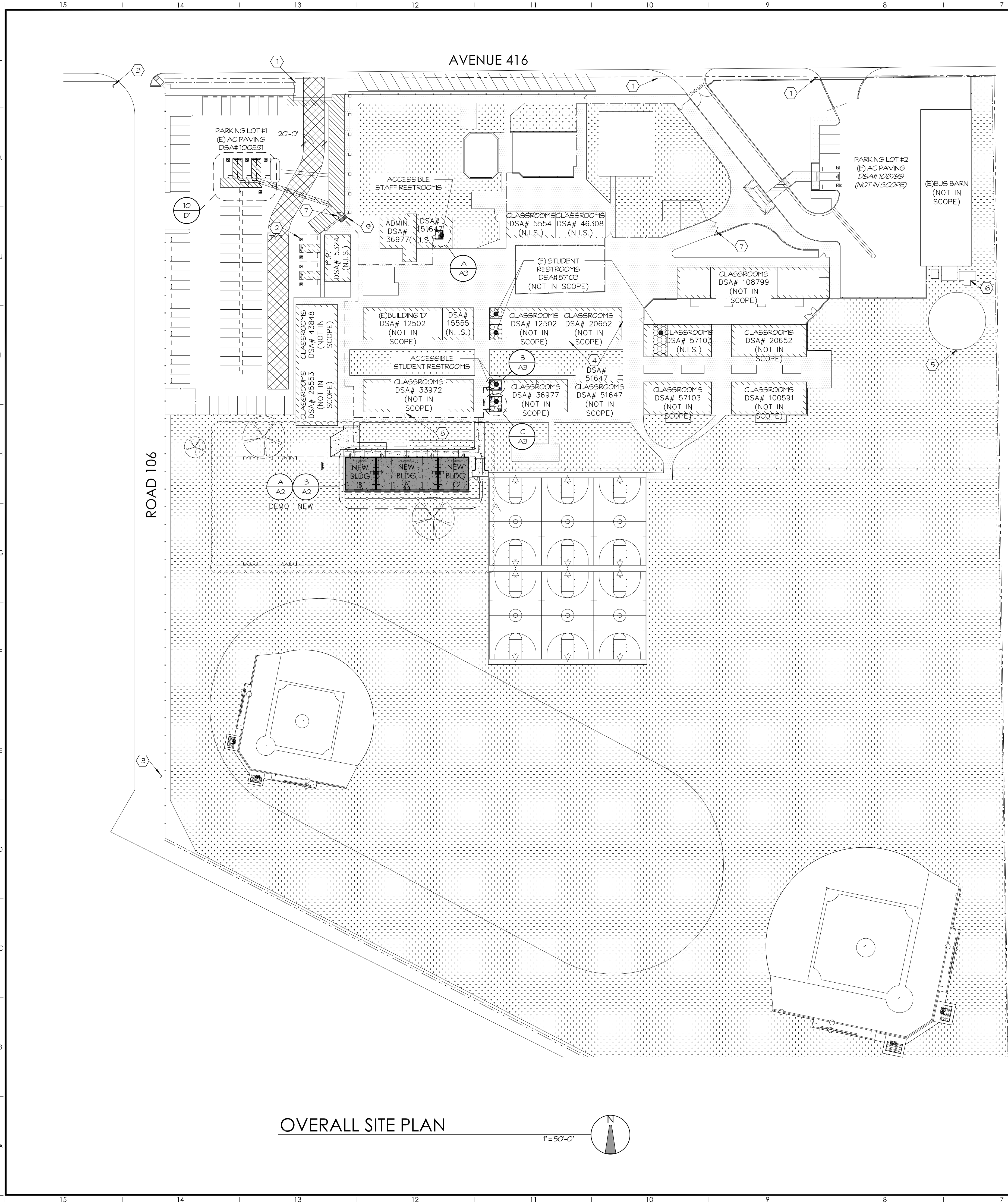
MONSON-SULTANA ELEMENTARY RELOCATABLE
10643 AVENUE 416, SULTANA, CA 93666

DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
			1	04.12.22	REVISION 1	

COVER SHEET

BRYAN A. SASSANO 18-28 PROJECT NUMBER SHEET NUMBER
DRAWN BY NO SCALE SCALE
CHECKED BY 04.12.22 DATE

T1



KEYNOTES

- 1. EXISTING *ACCESSIBLE ENTRY SIGNAGE*, SEE DETAIL 7/D1 (DSA# 02-108799)
- 2. BLACK OUT EXISTING PARKING SPACES, REMOVE EXISTING SIGNAGE
- 3. EXISTING FIRE HYDRANT
- 4. EXISTING ACCESSIBLE DRINKING FOUNTAIN
- 5. EXISTING 142,781 GAL. WATER TANK (MIN. FLOW 1000 GPM.) TO REMAIN (DSA# 02-108799)
- 6. EXISTING FIRE PUMP HOUSE TO REMAIN (DSA# 02-108799)
- 7. EXISTING CHAIN LINK GATES W/ SIGN THAT READS "THIS GATE IS TO REMAIN LOCKED IN THE OPEN POSITION DURING BUSINESS/ SCHOOL HOURS OR DURING PUBLIC FUNCTIONS"
- 8. EXISTING ACCESSIBLE DRINKING FOUNTAIN, SEE DETAIL 25/D2, FOR NEW PIPE GUARDRAILS.
- 9. NEW DETECTABLE WARNING, SEE DETAIL 22/D2

PARKING LOT DATA

(E) PARKING LOT #1 (DSA# 100591)	81
TOTAL PARKING STALLS:	4
ACCESSIBLE PARKING STALLS REQUIRED:	4 (2 STANDARD & 2 VAN)
ACCESSIBLE PARKING STALLS PROVIDED:	

PATH OF TRAVEL NOTES

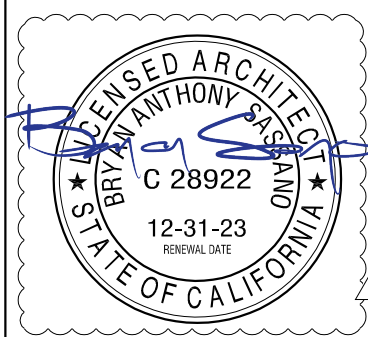
- 1. ALL BUILDINGS CAN BE ACCESSED FROM PARKING SPACES
- 2. ARCHITECT HAS SURVEYED/INSPECTED THE PATH OF TRAVEL (POT) AS INDICATED ON THE PLANS AND HAS FOUND IT TO BE, OR HAS INDICATED ON THE PLANS REMEDIAL WORK WHICH WOULD CAUSE IT TO BE, A BARRIER-FREE ACCESSIBLE ROUTE:
 - AT LEAST 48" IN WIDTH, OR AS APPROVED BY CODE
 - WITHOUT ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAXIMUM SLOPE, OR VERTICAL LEVEL CHANGES EXCEEDING 1/4"
 - WITH A FIRM, STABLE, AND SLIP RESISTANT WALKING SURFACE
 - WITH A RUNNING SLOPE OF 1:20 OR LESS, UNLESS OTHERWISE INDICATED, AND A CROSS SLOPE OF 1:50 OR LESS
 - IS FREE FROM OVERHEAD OBSTRUCTIONS WITHIN 8'0" ABOVE WALKING SURFACE
 - AND IS FREE OF OBJECTS WHICH PROTRUDE MORE THAN 4" BETWEEN THE HEIGHTS OF 27" AND 8'0" ABOVE THE WALKING SURFACE.
- 3. ALL DOORS, DOORWAYS & GATES IN PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS SECTION 11B-404. PROVIDE LEVER HARDWARE, KICK PLATES, 5 lb PRESURE TO OPERATE, 24" MIN. STRIKE SIDE CLEARANCE, 48" MAX. WIDTH, AND PANIC GARDWARE IF REQUIRED BY FIRE LIFE SAFETY.
- 4. THERE IS NO DROP-OFF OVER 4" AT THE EDGE OF WALK OR LANDING. IN NEW CONSTRUCTION, ALL WALKS AND ROUTES ARE CONSIDERED PATH OF TRAVEL (P.O.T.) ARCHITECT AND CONTRACTOR SHALL VERIFY THAT THE ENTIRE PATH OF TRAVEL HAS BEEN CONSTRUCTED FREE OF BARRIERS
- 5. ALL ACCESSIBLE PARKING SPACES ARE LOCATED SO THAT A PERSON WITH DISABILITY IS NOT COMPELLED TO WHEEL OR WALK BEHIND ANY OTHER CAR
- 6. WALKS IN PATH OF TRAVEL SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. WHEN INSTALLED, OPENINGS SHALL BE 1/2" MAXIMUM IN DIRECTION OF TRAFFIC FLOW.

DSA PR-15-01

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

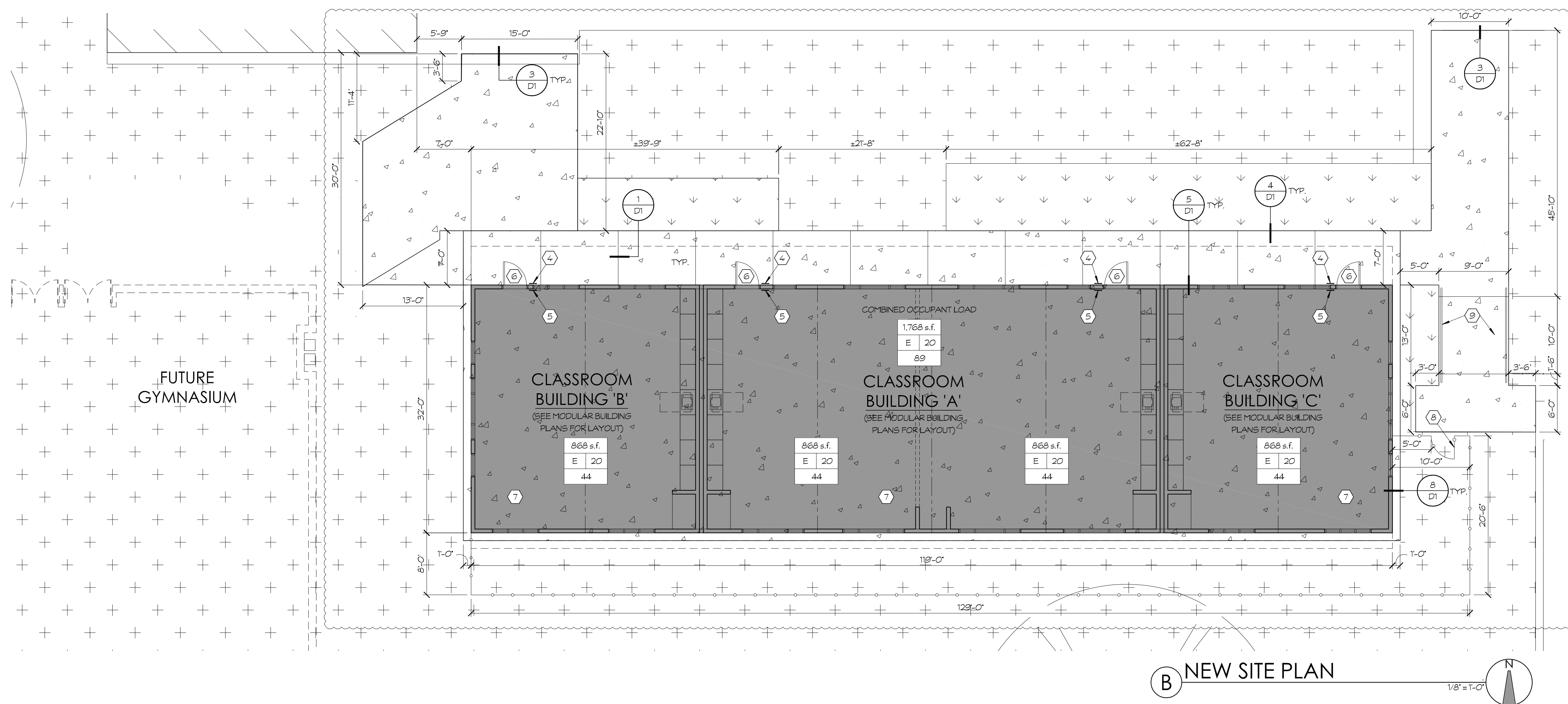
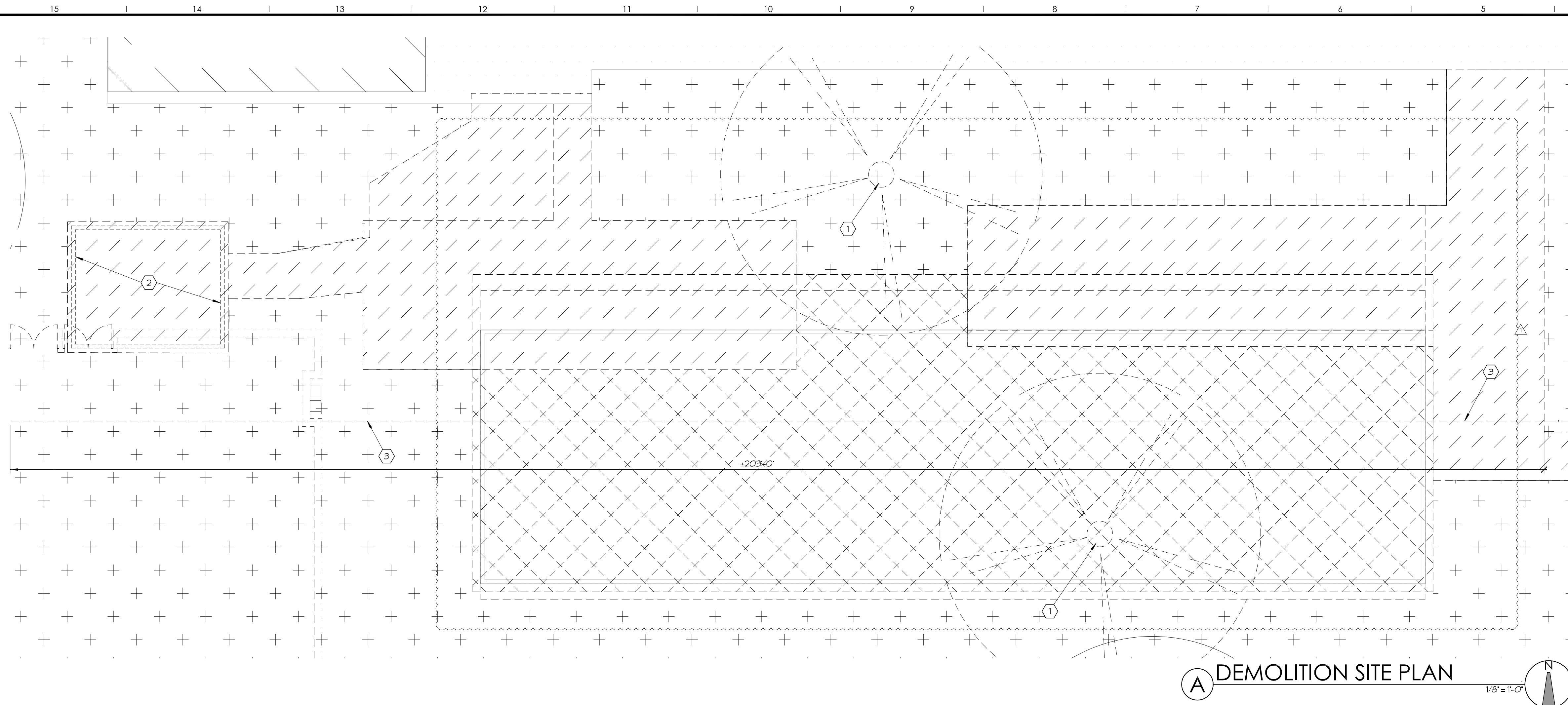
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS AND STRUCTURAL REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A "CONSTRUCTION CHANGE DOCUMENT" (FORM DSA 140)



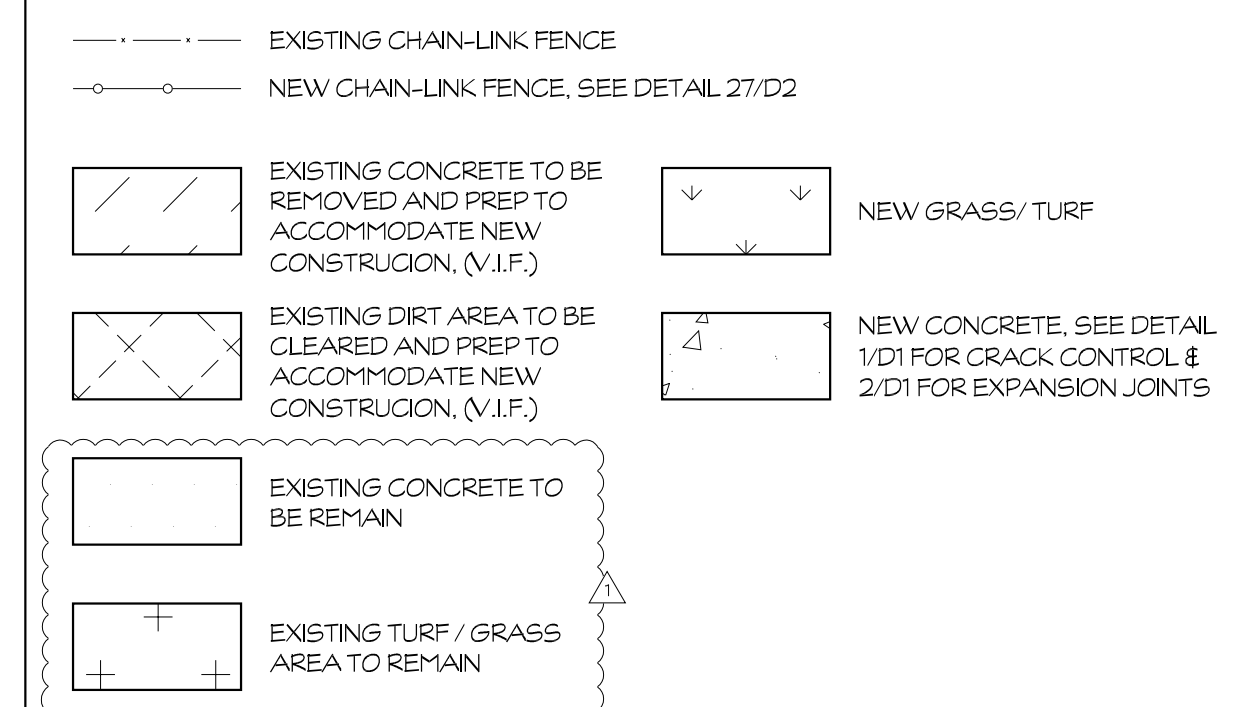
MONSON-SULTANA ELEMENTARY RELOCATABLE
10643 AVENUE 416, SULTANA, CA 93666

DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
				04.12.22	REVISION 1	
OVERALL SITE PLAN						
PROJECT ARCHITECT		18-28	PROJECT NUMBER		SHEET NUMBER	
BRYAN A. SASSANO						
DRAWN BY		AS NOTED	SCALE		A1	
CHECKED BY		04.12.22	DATE			

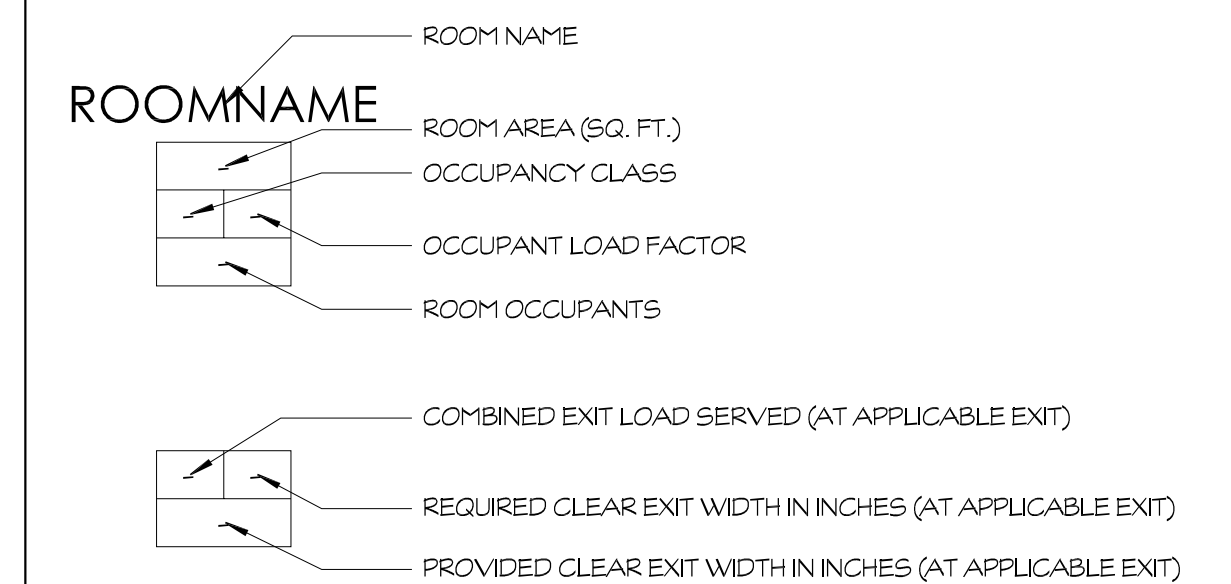
KEYNOTES

1. REMOVE (B) TREE & ROOTS. TYP. ANY TREES AND/OR ROOTS INTERFERING WITH AREA OF NEW WORK.
2. REMOVE EXISTING SHED
3. REMOVE SECTION OF EXISTING CHAIN LINK FENCE TO NEAREST MAIN POST. (V.I.F.)
4. NEW ENTRANCE DOOR SIGNAGE. SEE DETAIL #20/D2
5. NEW EXIT DOOR SIGNAGE. SEE DETAIL #21/D2
6. NEW DOOR BY MODULAR BUILDING CONTRACTOR. PROVIDE DOOR MANEUVERING CLEARANCES PER DETAIL #15/D1
7. NEW CONCRETE FOUNDATION SLAB BY MODULAR CONTRACTOR
8. NEW 3'-0" WIDE CHAIN LINK SERVICE GATE (V.I.F.)
9. NEW CONCRETE RAMP WITH HANDRAILS. SEE DETAIL #40/D3

LEGEND



EXIT ANALYSIS LEGEND



e:\18-28 manson-sultano jured classroom\work\18-28_02 enlarged demo new-revised.dwg | DEMO & NEW | 2022.05.12 08:33 | victorlox

SIMPRK

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FILE: 54-62
 PTN: 72009-05





PROJECT NAME
MONSON-SULTANA ELEMENTARY RELOCATABLE

10643 AVENUE 416, SULTANA, CA 93366

DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DESCRIPTION	REVISION
.	.	.	△	04.12.22	REVISION 1
.	.	.	.	.	.
.	.	.	.	.	.

SHEET NAME

DEMOLITION AND NEW SITE PLANS

PROJECT ARCHITECT
BRYAN A. SASSANO

DRAWN BY
 .

CHECKED BY
 .

18-28

AS NOTED

04.12.22

PROJECT NUMBER

SCALE

DATE

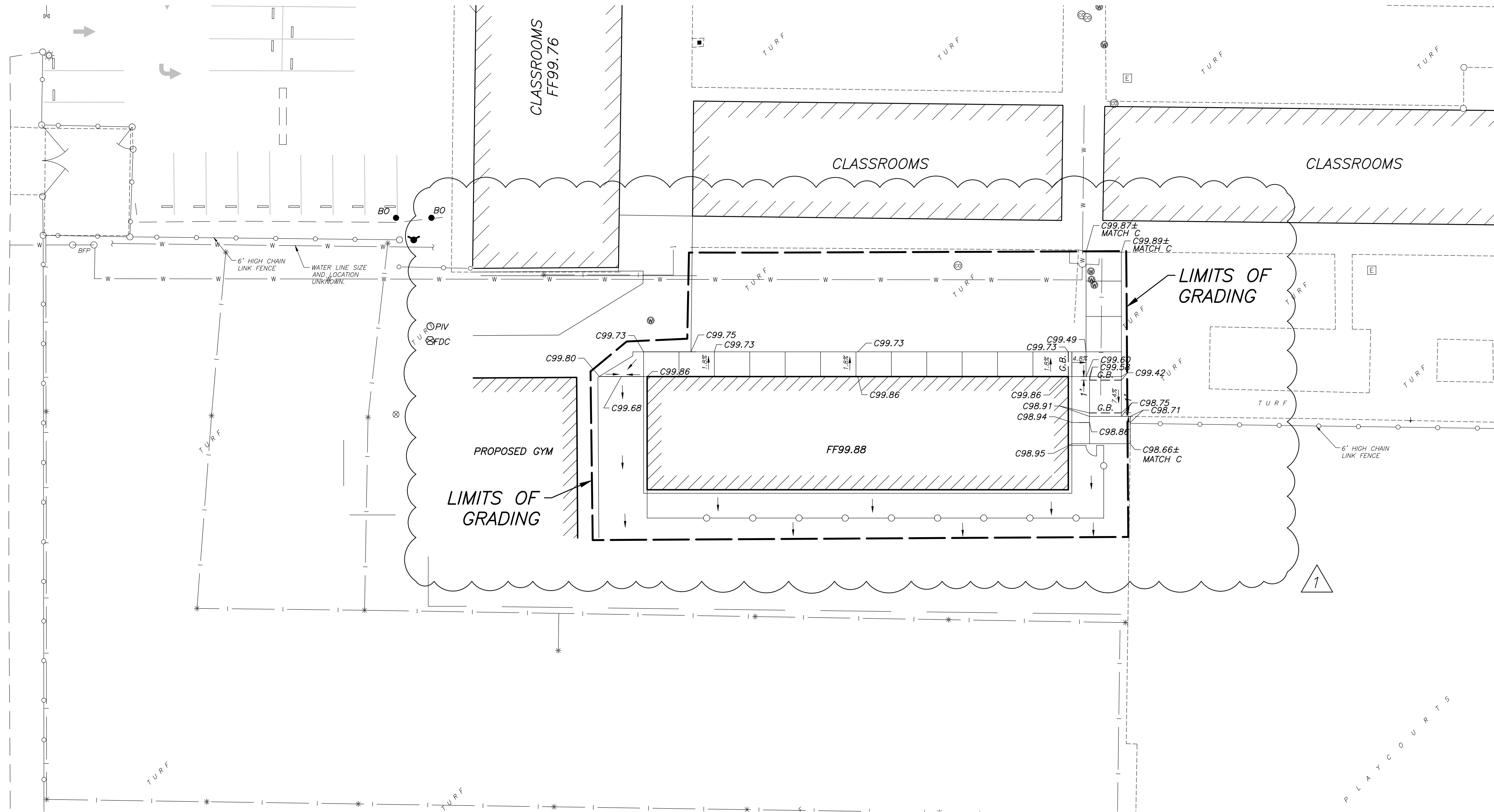
SHEET NUMBER

A2



D3

ROAD 106 ROAD 106

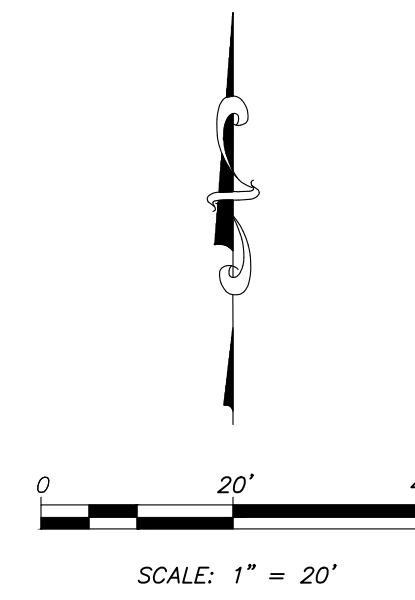


GRADING AND DRAINAGE LEGEND:

C	CONCRETE
FF	FINISH FLOOR
FL	FLOWLINE OF DIRT SWALE
G.B.	GRADE BREAK
C101.47	NEW FINISHED GRADE
→	NEW FINISHED SURFACE DRAINAGE DIRECTION
1.5%	NEW FINISHED SURFACE SLOPE AND DIRECTION OF DRAINAGE
→S=0.0050	NEW FLOWLINE SLOPE AND DIRECTION OF FLOW
G.B.	NEW GRADE BREAK
<<<	NEW DIRT SWALE
---	NEW LIMITS OF GRADING

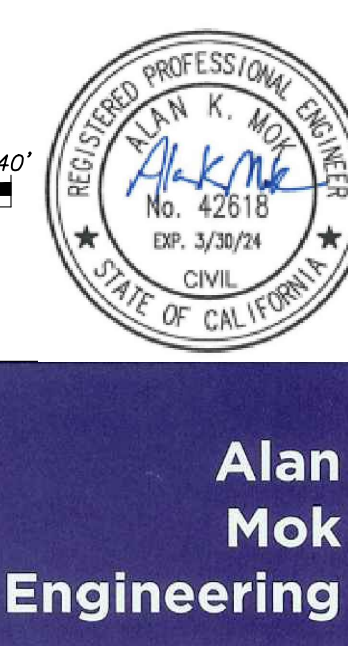
GRADING NOTES:

1. THE "LIMITS OF GRADING" SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL CUT, FILL, BACKFILL, COMPACT, GRADE AND REGRADE AS NECESSARY TO PERFORM ALL NEW IMPROVEMENTS SHOWN ON THESE PLANS. AREAS BEYOND THE "LIMITS OF GRADING" DISTURBED BY THE ACTIVITIES OF THE CONTRACTOR AS PART OF THIS PROJECT SHALL BE REGRADED TO THE SATISFACTION OF THE OWNER.
2. THE CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING UTILITY BOXES, VAULTS AND MANHOLE COVERS AND FRAME TO MATCH ADJACENT FINISHED SURFACE GRADE WITHIN THE "LIMITS OF GRADING". SEE DETAIL H/C4 IF APPLICABLE.
3. THE LOCATION AND ALIGNMENT OF THE STORM DRAIN SYSTEM IS SCHEMATIC. ADJUSTMENTS ARE TO BE MADE IN THE FIELD DUE TO EXISTING UTILITIES AND NEW IMPROVEMENTS.



Alan Mok, PE, PLS,
LEED AP
Principal

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FILE: 54-62
PTN: 72009-05

REGISTERED ARCHITECT
BRYAN A. SASSANO
C 28922
12-31-23
RENEWAL DATE

REGISTERED PROFESSIONAL ENGINEER
ALAN K. MOK
No. 42618
EXP. 3/10/24
CIVIL
STATE OF CALIFORNIA

MONSON-SULTANA ELEMENTARY RELOCATABLE
10643 AVENUE 416, SULTANA, CA 93666

DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
				04.12.22	REVISION	

GRADING AND DRAINAGE PLAN

PROJECT ARCHITECT	PROJECT NUMBER	SHEET NAME
BRYAN A. SASSANO	18-28	GRADING AND DRAINAGE PLAN

CHECKED BY	DATE	SHEET NUMBER
	04.12.22	C2

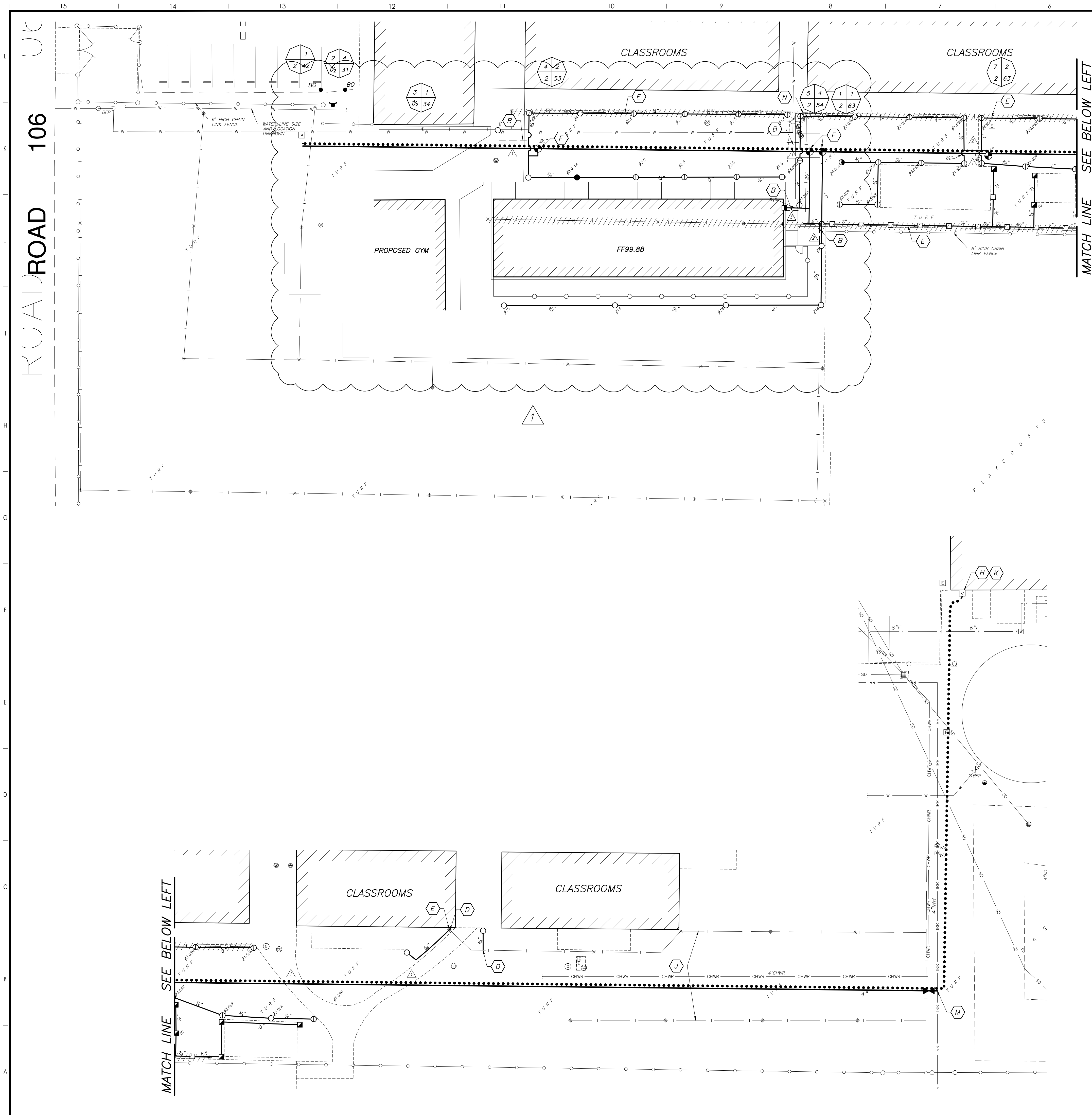


D _____ NOT USED

_____ NOT TO SCALE

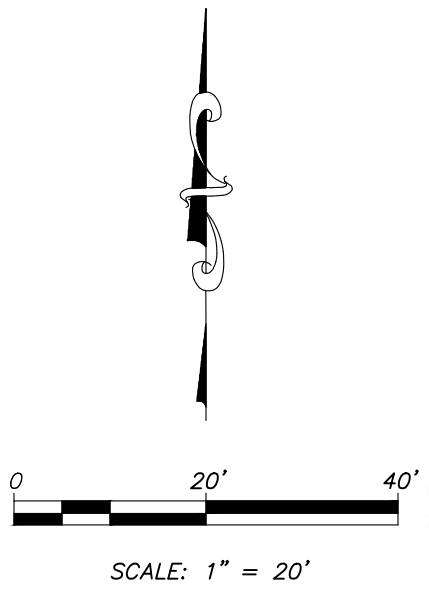


CONCRETE:
MINIMUM 3,000 PSI
AT 28 DAYS



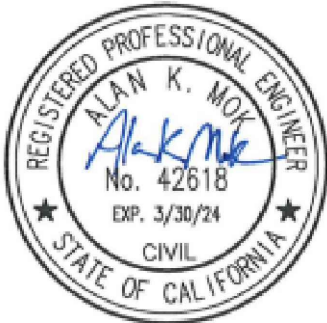
IRRIGATION LEGEND:

- HUNTER 125-06-SS-15 6" POP-UP ROTOR WITH SWING JOINT ASSEMBLY (14.3 GPM @ 60 PSI) OR APPROVED EQUIVALENT.
- HUNTER 125-06-SS-07 6" POP-UP ROTOR WITH SWING JOINT ASSEMBLY (7.5 GPM @ 60 PSI) OR NOZZLE SIZE AS NOTED OR APPROVED EQUIVALENT
- ⊕ HUNTER 120-06-SS-4.0, 6" POP-UP ROTOR WITH SWING JOINT ASSEMBLY (4.7 GPM @ 60 PSI) OR WITH NOZZLE SIZE AS NOTED OR APPROVED EQUIVALENT.
- HUNTER PROS-06-PRS30-15H, 6" POP-UP SPRAY WITH 15H, HALF CIRCLE NOZZLE, WITH SWING JOINT ASSEMBLY (2.16 GPM @ 40 PSI) OR APPROVED EQUIVALENT.
- HUNTER PROS-06-PRS30-15Q, 6" POP-UP SPRAY WITH 15Q, QUARTER CIRCLE NOZZLE, WITH SWING JOINT ASSEMBLY (1.14 GPM @ 40 PSI) OR WITH NOZZLE AS NOTED OR APPROVED EQUIVALENT.
- ▣ HUNTER PROS-06-PRS30-12H, 6" POP-UP SPRAY WITH 12H, HALF CIRCLE NOZZLE, WITH SWING JOINT ASSEMBLY (1.52 GPM @ 40 PSI) OR APPROVED EQUIVALENT.
- ▤ HUNTER PROS-06-PRS30-RCS OR LCS, 6" POP-UP SPRAY WITH RIGHT OR LEFT CORNER STRIP NOZZLE WITH SWING JOINT ASSEMBLY (0.75 GPM @ 40 PSI) OR APPROVED EQUIVALENT.
- ⊙ IRRITROL 100-S REMOTE CONTROL VALVE WITH CHRISTY B16 VALVE BOX (SIZE AS NOTED) OR APPROVED EQUIVALENT. USE DUCTILE IRON SADDLE WITH STAINLESS STEEL STRAPS FOR MAIN LINE CONNECTION.
- ⋈ RESILIENT WEDGE GATE VALVE WITH CHRISTY G5 VALVE BOX AND 2" OPERATING NUT.
- 4" IRRIGATION MAIN LINE, 4" IPS SIZE CLASS 200 PVC PIPE WITH RUBBER GASKETED BELL AND ONLY DUCTILE IRON FITTINGS ALLOWED FOR PIPE CONNECTIONS.
- 3" IRRIGATION LATERAL LINE, SCH 40PVC PIPE. SIZE AS NOTED.
- PATH OF IRRIGATION CONTROL WIRES
- ##### ABANDON EXISTING IRRIGATION LATERAL LINE, SALVAGE EXISTING SPRINKLERS. CAP LINE AS REQUIRED.
- △ IRRIGATION SLEEVES: 1-8" SDR 35 PVC AND 2-2" SCH 40 PVC
- △ IRRIGATION SLEEVES: 1-3" SCH 40
- ⊞ HUNTER PHC-2400, 24 STATION OUTDOOR CONTROLLER OR APPROVED EQUIVALENT.
- ⊞ SUPPLY FOUR SPARE WIRES WITH SPARE COMMON.
- A ABANDON AND REMOVE EXISTING LATERAL LINE AND SALVAGE EXISTING SPRINKLERS.
- B BORE IRRIGATION SLEEVE OR SAWCUT, REMOVE AND REPLACE EXISTING CONCRETE WALK WITH 1/2" DIAMETER STEEL DOWELS WITH 4" EMBEDMENT, TWOR FOR EACH SIDE.
- C CAP EXISTING IRRIGATION LINE
- D MAKE CONNECTION TO EXISTING LATERAL LINE
- E REMOVE AND SALVAGE EXISTING SPRINKLER. CAP LINE AS REQUIRED.
- F MAKE CONNECTION TO EXISTING IRRIGATION MAIN LINE WITH DUCTILE IRON SADDLE WITH STAINLESS STEEL STRAPS.
- G MOUNT CONTROLLER ON CMU WALL WITH WIRE CONDUIT. CONTRACTOR TO SECURE GFI PROTECTED 120 VOLT POWER WITH SHUT OFF FOR CONTROLLER FROM EXISTING RESTROOM BUILDING.
- H INSTALL CHRISTY B-9 VALVE BOX FOR CONTROLLER CONDUIT TERMINATION. ALL CONDUIT TO BE METAL RIGID WITH METAL JUNCTION. SECURE CONDUIT TO WALL, CORE WALL AS NEEDED.
- I PROTECT EXISTING MAIN LINE AND WIRES
- J PROTECT EXISTING SPRINKLER AND LATERAL LINE
- K MAKE CONNECTION TO EXISTING HUNTER I-CORE CONTROLLER. FURNISH AND INSTALL 8 STATION MODULE.
- L FURNISH AND INSTALL AIR RELEASE VALVE PER INSTALLATION DETAIL.
- M MAKE CONNECTION TO EXISTING IRRIGATION MAIN LINE WITH DUCTILE IRON FITTING AND STAINLESS STEEL COMPRESSION COUPLING.
- N REMOVE AND SALVAGE THREE EXISTING IRRIGATION VALVES WITH AVB AND PLUG CONNECTION TO DOMESTIC MAIN.



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Alan Mok
Engineering

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FILE: 54-62
PTN: 72009-05

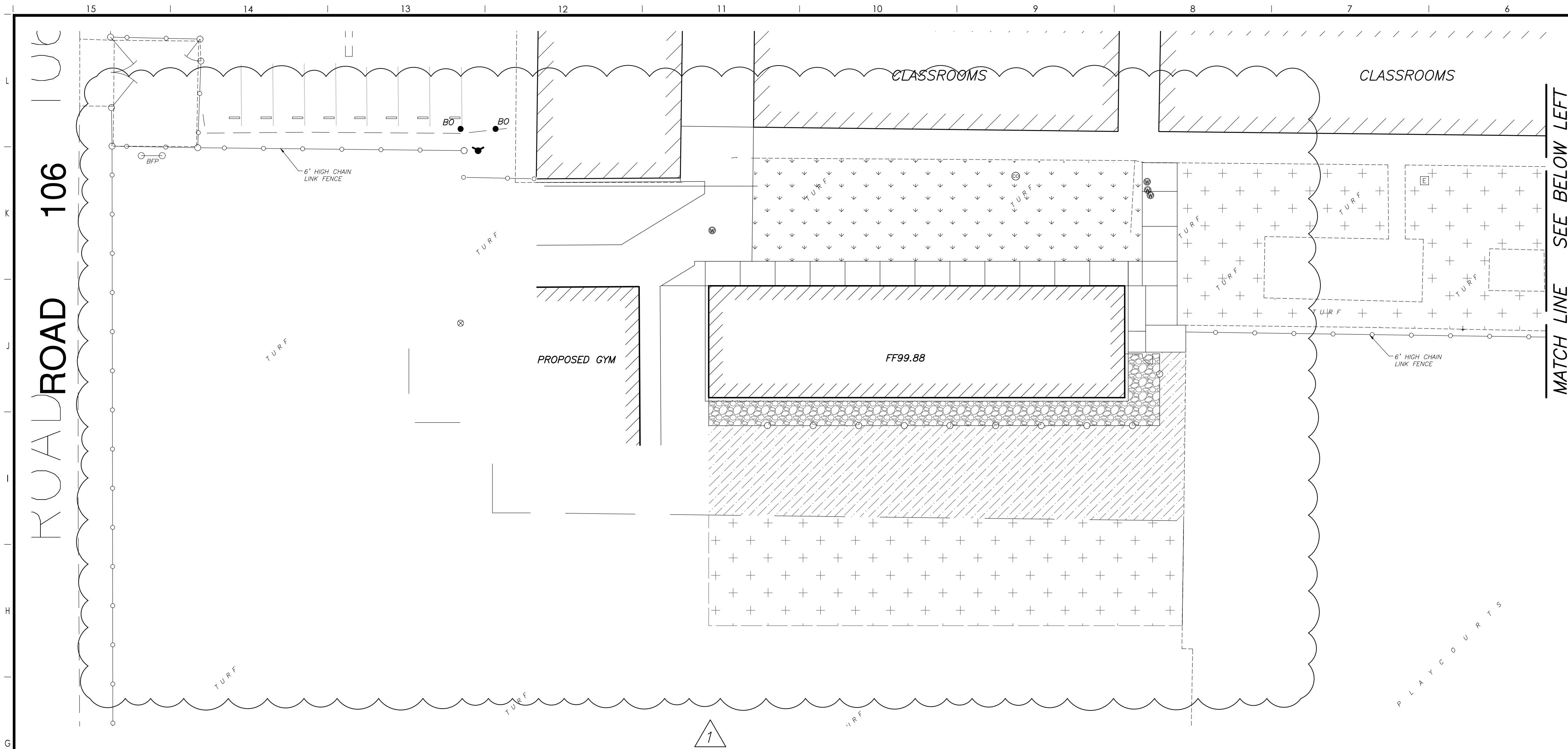
MONSON-SULTANA ELEMENTARY RELOCATABLE
10643 AVENUE 416, SULTANA, CA 93666

DATE		DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
				1	04.12.22	REVISION	
				2			
				3			
				4			
				5			
				6			
				7			
				8			
				9			
				10			
				11			
				12			
				13			
				14			
				15			

IRRIGATION PLAN

SHEET NAME
SHEET NUMBER

C5

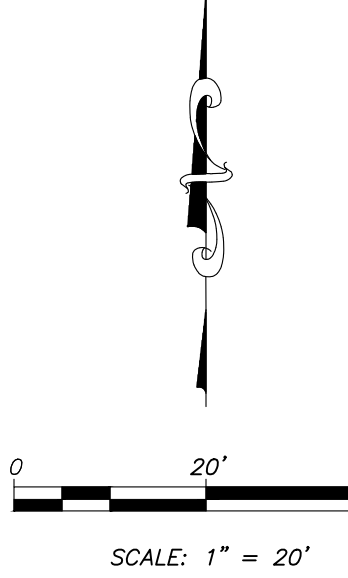
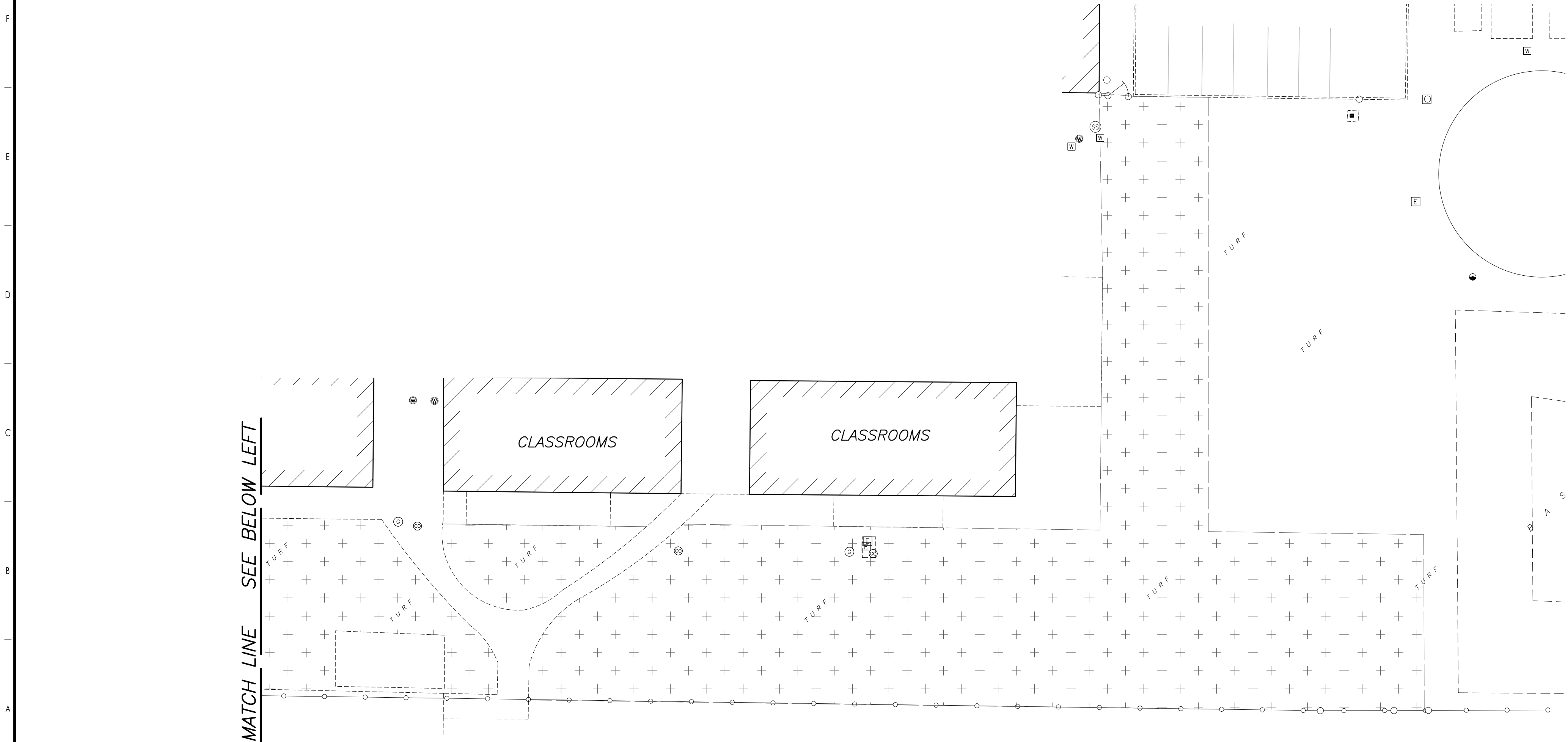
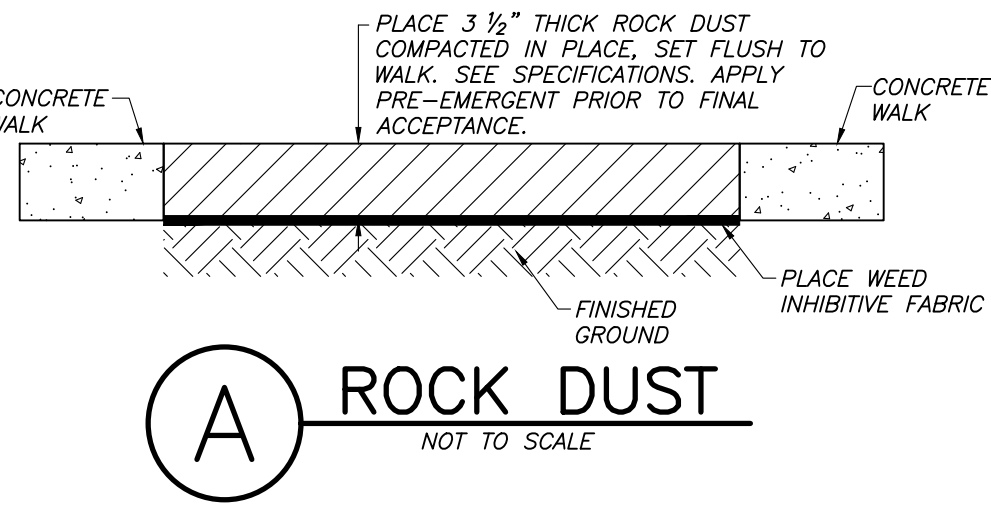


LANDSCAPE LEGEND:

BOTANICAL NAME	COMMON NAME	QTY.	SIZE
AG SOD FARM "CELEBRATION" BERMUDAGRASS SOD		3,400± S.F.	
PLANT AND ESTABLISH TURF	(PANAM @ 4 LBS/1000 S.F.)	6,800± S.F.	
RESTORE EXISTING TURF		25,000± S.F.	
3" THICK ROCKDUST SURFACING		1,300± S.F.	

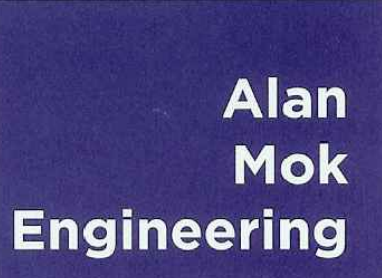
PLANTING NOTES:

- QUANTITIES ARE DESIGN ENGINEER'S ESTIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL MATERIAL APPEARING ON PLAN.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- SEE SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS AND EXECUTION.
- ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
- SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD. PLANT PIT DIMENSION AND BACKFILL REQUIREMENTS.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT PROJECT ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE DESIGN ENGINEER, WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.
- NO PLANTING SHALL BE DONE UNTIL INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETED. FINAL GRADES HAVE BEEN ESTABLISHED. PLANTING AREAS HAVE BEEN PROPERLY GRADED, SOIL PREPARED, WATER TEST PERFORMED IN PRESENCE OF DISTRICT REPRESENTATIVE AND THE WORK APPROVED BY THE DESIGN ENGINEER.
- RECONDITION EXISTING TURF WHERE CALLED FOR AND WHERE DAMAGE FROM CONSTRUCTION OCCURS. RECONDITIONING SHALL INCLUDE BUT NOT NECESSARILY BE LIMITED TO SCALPING, RIPPING OF COMPACTED SOIL, SOIL PREPARATION, FINE GRADING, TURF INSTALLATION AND TURF ESTABLISHMENT.
- WHERE NEW CONSTRUCTION OCCURS ADJACENT TO EXISTING PLANT MATERIAL, CARE SHALL BE TAKEN TO PROTECT SUCH PLANTING.
- PLANT PANAM BERMUDA GRASS FROM MAY TO SEPTEMBER ONLY. PLANT TURF STAR REGENERATING PERENNIAL RYE GRASS (RTT) AT RATE OF 7 LBS PER 1,000 SQ.FT., FOR MONTHS BETWEEN SEPTEMBER TO MAY.



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FILE: 54-62
PTN: 72009-05
PROJECT NAME

MONSON-SULTANA ELEMENTARY RELOCATABLE
10643 AVENUE 416, SULTANA, CA 93666

DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
			1	04.12.22	REVISION	

SHEET NAME
LANDSCAPE PLAN

PROJECT ARCHITECT	PROJECT NUMBER	PROJECT NAME	SHEET NUMBER
BRYAN A. SASSANO	18-28		

DRAWN BY
SCALE

CHECKED BY
DATE
04.12.22

SHEET NAME
LANDSCAPE PLAN

SHEET NUMBER
C6

AVENUE 416

PARKING LOT #1

BLDG. A
DSA#
36977

DSA#
151647

CLASSROOMS
DSA# 5554

CLASSROOMS
DSA# 46308

(E)BUS BARN
DSA# 108799

PARKING LOT #2

CLASSROOMS
DSA# 108799

CLASSROOMS
DSA# 12502
(NOT IN SCOPE)

DSA#
15555

CLASSROOMS
DSA# 12502
(NOT IN SCOPE)

CLASSROOMS
DSA# 20652
(NOT IN SCOPE)

CLASSROOMS
DSA# 57103
(NOT IN SCOPE)

CLASSROOMS
DSA# 20652
(NOT IN SCOPE)

CLASSROOMS
DSA# 43848
(NOT IN SCOPE)

CLASSROOMS
DSA# 25553
(NOT IN SCOPE)

CLASSROOMS
DSA# 33972
(NOT IN SCOPE)

CLASSROOMS
DSA# 36977
(NOT IN SCOPE)

CLASSROOMS
DSA# 51647
(NOT IN SCOPE)

CLASSROOMS
DSA# 57103
(NOT IN SCOPE)

CLASSROOMS
DSA# 100591
(NOT IN SCOPE)

CLASSROOM
BUILDING.
'B'

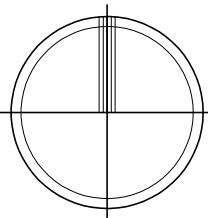
CLASSROOM
BUILDING.
'A'

CLASSROOM

CLASSROOM
BUILDING.
'C'

KEYNOTES

1. EXIST. DIST. PANEL 'DP', PROVIDE NEW 100A/3P BREAKER AND EXTEND NEW CIRCUIT TO NEW MODULAR BUILDINGS AS SHOWN. SEE LINE DIAGRAM FOR MORE INFO.
2. 2" C-3#1, #8CU GND TO NEW PRIMARY DISCONNECT AND TRANSFORMER AS SHOWN. CIRCUIT LENGTH IS 610', AMPERAGE IS 69 @480V, VOLTAGE DROP IS 1.88%.
3. CHRISTY N16 PULL BOX.
4. PRIMARY DISCONNECT, TRANSFORMER AND PANEL 'R1'. SEE LINE DIAGRAM AND POWER PLAN FOR MORE INFO.
5. (2)3"C. w/ (3)#600 MCM. #1 /OCU GND EACH TO TRANSFORMER DISCONNECT, 750 FT.
6. FUTURE TRANSFORMER PRIMARY DISCONNECT AND NEMA 3R OUTDOOR RATED TRANSFORMER BY OTHERS.

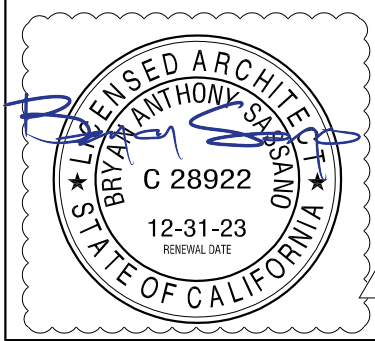


SITE PLAN — ELECTRICAL

SCALE: 1" = 20'-0"



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FILE: 54-42
PTN: 72009-05
PROJECT NAME
MONSON-SULTANA ELEMENTARY RELOCATABLE
10643 AVENUE 416, SULTANA, CA 93666

DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
				04.12.22	REVISION 1	

PROJECT ARCHITECT
BRYAN A. SASSANO

DRAWN BY
JEFF GRAHAM

CHECKED BY

18-28

AS NOTED

04.12.22

PROJECT NUMBER

SHEET NAME
ELECTRICAL SITE PLAN

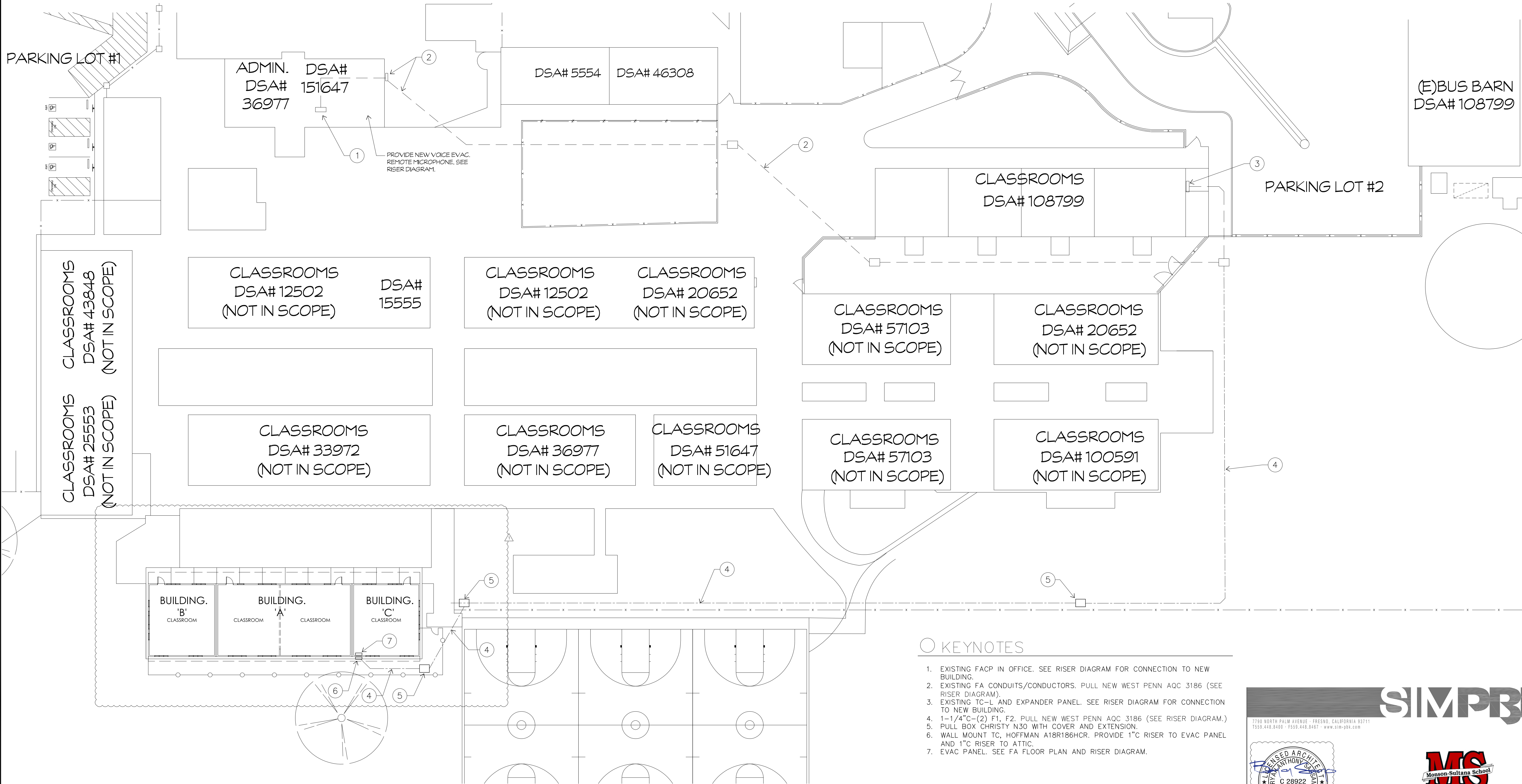
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SCALE

DATE

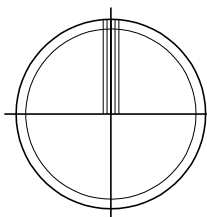
SHEET NUMBER
E-1

AVENUE 416



KEYNOTES

1. EXISTING FACP IN OFFICE. SEE RISER DIAGRAM FOR CONNECTION TO NEW BUILDING.
2. EXISTING FA CONDUITS/CONDUCTORS. PULL NEW WEST PENN AQC 3186 (SEE RISER DIAGRAM).
3. EXISTING TC-L AND EXPANDER PANEL. SEE RISER DIAGRAM FOR CONNECTION TO NEW BUILDING.
4. 1-1/4" C-(2) F1, F2. PULL NEW WEST PENN AQC 3186 (SEE RISER DIAGRAM.)
5. PULL BOX CHRISTY N30 WITH COVER AND EXTENSION.
6. WALL MOUNT TC, HOFFMAN A18R186HCR. PROVIDE 1" C RISER TO EVAC PANEL AND 1" C RISER TO ATTIC.
7. EVAC PANEL. SEE FA FLOOR PLAN AND RISER DIAGRAM.



SITE PLAN - FIRE ALARM

SCALE: 1" = 20'-0"

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FILE: 54-42
PTN: 72009-05
PROJECT NAME
MONSON-SULTANA ELEMENTARY RELOCATABLE
10643 AVENUE 416, SULTANA, CA 93666

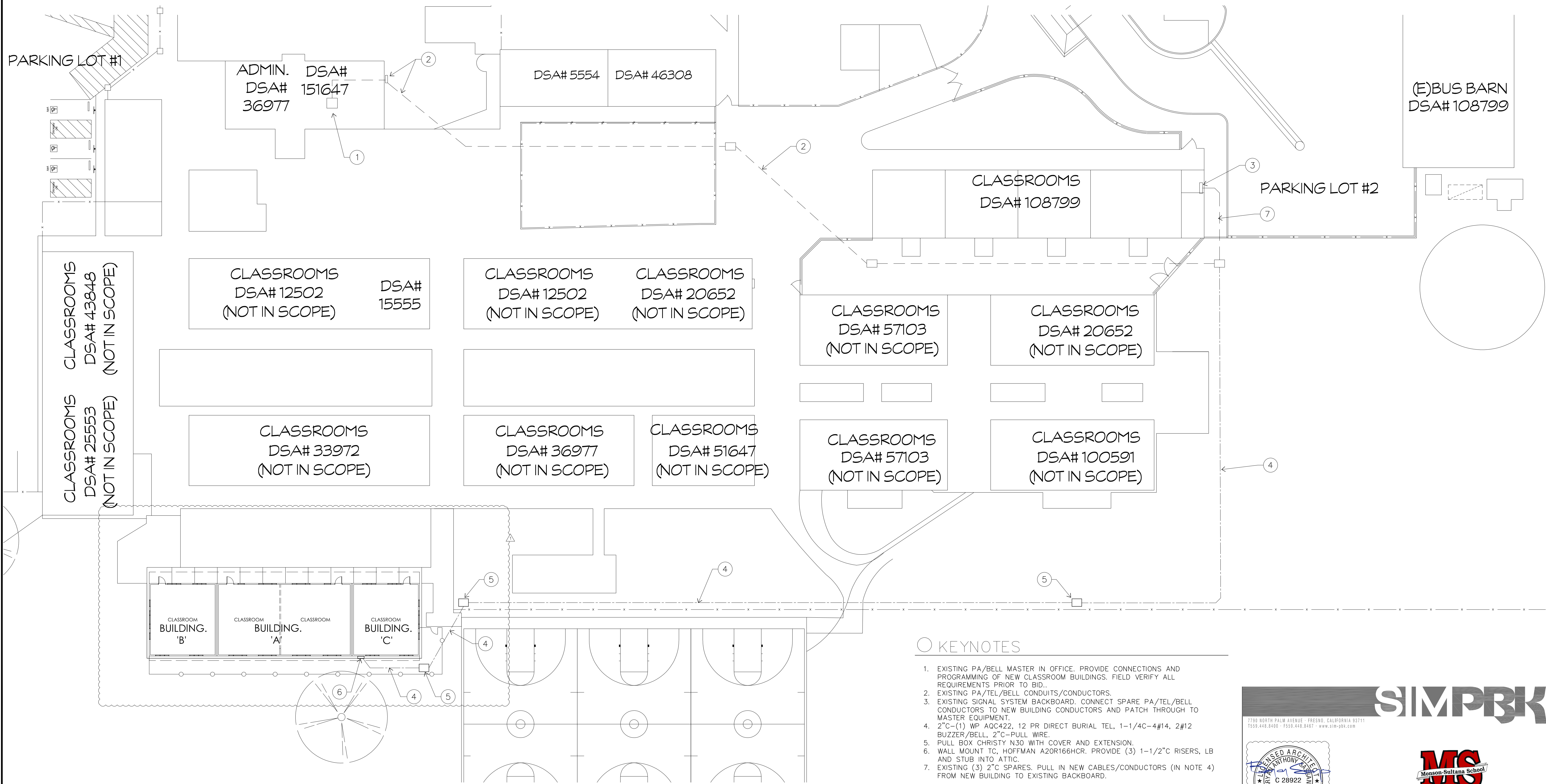
DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
				04.12.22	REVISION 1	

SHEET NAME
FIRE ALARM SITE PLAN

PROJECT ARCHITECT	PROJECT NUMBER	SHEET NUMBER
BRYAN A. SASSANO	18-28	E-3

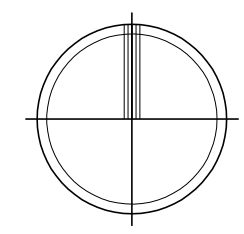
DRAWN BY: JEFF GRAHAM
CHECKED BY: JEFF GRAHAM
SCALE: AS NOTED
DATE: 04.12.22

AVENUE 416



KEYNOTES

1. EXISTING PA/BELL MASTER IN OFFICE. PROVIDE CONNECTIONS AND PROGRAMMING OF NEW CLASSROOM BUILDINGS. FIELD VERIFY ALL REQUIREMENTS PRIOR TO BID..
2. EXISTING PA/TEL/BELL CONDUITS/CONDUCTORS.
3. EXISTING SIGNAL SYSTEM BACKBOARD. CONNECT SPARE PA/TEL/BELL CONDUCTORS TO NEW BUILDING CONDUCTORS AND PATCH THROUGH TO MASTER EQUIPMENT.
4. 2"C-(1) WP. AQC422, 12 PR DIRECT BURIAL TEL, 1-1/4C-4#14, 2#12 BUZZER/BELL, 2"C-PULL WIRE.
5. PULL BOX CHRISTY N30 WITH COVER AND EXTENSION.
6. WALL MOUNT TC, HOFFMAN A20R166HCR. PROVIDE (3) 1-1/2"C RISERS, LB AND STUB INTO ATTIC.
7. EXISTING (3) 2"C SPARES. PULL IN NEW CABLES/CONDUCTORS (IN NOTE 4) FROM NEW BUILDING TO EXISTING BACKBOARD.



SITE PLAN – SIGNAL/COMMUNICATION

SCALE: 1" = 20'-0"

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FILE: 54-42
PTN: 72009-05
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10643 AVENUE 416, SULTANA, CA 93666

DATE	DESCRIPTION	PROJECT DEVELOPMENT	No.	DATE	DESCRIPTION	REVISIONS
				04.12.22	REVISION 1	

SHEET NAME
SIGNAL/COMMUNICATION SITE PLAN

PROJECT ARCHITECT	PROJECT NUMBER	SHEET NUMBER
BRYAN A. SASSANO	18-28	
JEFF GRAHAM	AS NOTED	
CHECKED BY	DATE	
	04.12.22	

E-4